



**ADDENDUM NO. 03  
January 25, 2022**

To Drawings and Specifications dated December 17, 2021

**CLINE ELEMENTARY SCHOOL CAMPUS REPLACEMENT  
FOR FRIENDSWOOD I.S.D.**

Prepared by: PBK  
11 Greenway Plaza, 22<sup>nd</sup> Floor  
Houston, TX 77046-1104  
PBK Project No: 20380

**Notice to Bidders**

- A. Receipt of this Addendum shall be acknowledged on the Bid Form.
- B. This Addendum forms part of the Contract documents for the above referenced project and shall be incorporated integrally therewith.
- C. Each bidder shall make necessary adjustments and submit his proposal with full knowledge of all modifications, clarifications, and supplemental data included therein. Where provisions of the following supplemental data differ from those of the original Contract Documents, this Addendum shall govern.

**SPECIFICATIONS**

- Item No. 1 **00 11 00 – REQUEST FOR COMPETITIVE SEALED PROPOSALS:** Revised Date and locations.
- Item No. 2 **00 20 00 – INSTRUCTIONS TO OFFERORS:** Revised date & location.
  - 1.1 QUALIFIED OFFERES**
    - A. Bid Opening will be at 3:30 in Training Room #1 located at the Annex 402 Laurel Dr., Friendswood, TX 77546.
  - 1.4 PROPOSAL PROCEDURES**
    - I. Deadline for questions has been extended to January 31, 2022 at 2:00 PM.
- Item No. 3 **00 40 00 - COMPETITIVE SEALED PROPOSAL FORM:** Revised date
- Item No. 4 **00 40 10 – ALTERNATE PROPOSAL FORM:** Revised date

**DRAWINGS**

- Item No. 1 **AS 101 – ARCHITECTURAL SITE PLAN**
  - a. Clarified planting location along with parking perimeter.
- Item No. 2 **A-301 – ROOF PLAN**
  - a. Updated Detail 16 to include correct references.
  - b. Added details 10 thru 17.

**Attachments include 3 additional sheets and ends with drawing A-323 Roof Details dated 1/25/2022.**



*Jan 25, 2022*

## SECTION 00 11 00 - REQUEST FOR COMPETITIVE SEALED PROPOSALS

Competitive Sealed Proposals for the work identified below in accordance with Proposal Documents and addenda as may be issued prior to date of proposal opening will be received by the Board of Trustees, Friendswood Independent School District, until proposal closing date and time, as identified below. Proposals from Offerors will then be opened in public and read aloud.

**OWNER:** Friendswood Independent School District  
302 Laurel  
Friendswood, Texas 77546  
Phone: (281) 482-1267  
Representative: Erich Kreiter, Executive Director of Safety & Operations

**PROJECT:** Cline Elementary School Campus Replacement  
1550 West Blvd.  
Friendswood, Texas 77456

**EST. BUDGET:** \$33,500,000.00

**PRE-PROPOSAL  
CONFERENCE** January 13, 2022 at **10:00 AM**

**LOCATION:** Friendswood ISD Board Room  
402 Laurel Dr.  
Friendswood, Texas 77546  
Representatives of the Architect, Owner will be present at this meeting. All proposers are encouraged to attend.

**PROPOSAL DUE  
DATE AND TIME:** FEBRUARY 3, 2022 Bids due at 2:00 PM CST to the  
FISD Administration Building  
302 Laurel Dr, Friendswood, Texas 77546

Alternates due at 3:00 PM CST to the  
FISD Administration Building  
302 Laurel Dr, Friendswood, Texas 77546

**BID PROPOSAL  
OPENING:** Bid and Alternate Opening 3:30 PM CST  
FISD Annex Building Training Room #1  
402 Laurel Dr., Friendswood, Texas 77546

**ARCHITECT:** PBK Architects, Inc.  
11 Greenway Plaza Boulevard, 22<sup>nd</sup> floor  
Houston, Texas 77046  
Phone: 713-965-0608 Fax: 713-961-4571

For questions or to obtain proposal documents, please reach out to [Melissa.turnbaugh@pbk.com](mailto:Melissa.turnbaugh@pbk.com)

Submit Proposals to the Owner no later than the date and time specified. Submit proposals in duplicate in a sealed envelope in accordance with Document 00 20 00 Instructions to Offerors with the following information on the face of the envelope. The bids will be submitted to the FISD administration building at 402 Laurel Dr. and will be opened at the FISD admin annex at 402 Laurel Dr. in Training Room #1

Name of Offeror (General Contractor)  
Cline Elementary School Campus Replacement – CSP 22-002  
Friendswood Independent School District  
Attn: Kim Dingell – Business Coordinator

The Owner reserves the right to reject any and all proposals and to waive any irregularities in the Competitive Sealed Proposal process.

No proposal shall be withdrawn within 45 days after the proposal opening without the specific consent of the Owner.

**PROPOSAL BOND:** A Proposal Bond from a bonding company acceptable to the Owner or a certified check in an amount equal to 10% of the greatest amount proposal shall accompany each Offeror's proposal.

**PAYMENT BOND AND PERFORMANCE BOND:** A Payment Bond and Performance Bond, each in an amount equal to 100% of the Contract Sum conditioned upon the faithful performance of the Contract will be required. Please note that all bonding companies presented must be acceptable to the Owner.

The prevailing rates of wages are the minimums that must be paid in compliance with applicable laws of the State of Texas.

Offerors submitting a proposal are encouraged to visit the site. All Offerors submitting a proposal are encouraged to attend the proposal opening.

Subcontractors and Suppliers intending to submit proposals to General Construction Offerors are required to prepare proposals based on a complete set of proposal documents. If after reviewing the complete set of proposal documents, Subcontractors and Supplier Offerors desiring to purchase individual drawings and specification sections for their proposal convenience, may do so by ordering the specific drawings and specifications directly from the reproduction company.

Subcontractors and Suppliers purchasing a partial set of proposal documents are responsible for determining the documents it requires and is responsible for costs associated with printing and delivery. Subcontractors and Suppliers exercising this option shall agree that 1) all documents shall be returned to the Architect, without refund, after submitting a proposal, 2) the documents shall not be used on other construction projects, and 3) that the subcontractor or supplier agrees that the Owner and the Architect have no responsibility for errors or interpretations resulting from the use of incomplete set of proposal documents.

Successful Subcontractors and Supplier Offerors may retain their Proposal Documents until completion of the construction.

**END OF DOCUMENT 00 11 00**

**DOCUMENT 00 40 00 - COMPETITIVE SEALED PROPOSAL FORM**

**CLINE ELEMENTARY SCHOOL CAMPUS REPLACEMENT  
FRIENDSWOOD INDEPENDENT SCHOOL DISTRICT**

Submitted by: \_\_\_\_\_

Date: \_\_\_\_\_ Phone No.: \_\_\_\_\_

To: Board of Trustees  
Friendswood ISD  
302 Laurel  
Friendswood, Texas 77546

Having examined Proposal and Contract Documents prepared by PBK, Inc., dated December 17, 2021 and having examined site conditions, the undersigned proposes to furnish all labor, equipment and materials and perform all work for the completion of the above-named project for the sum indicated below.

In submitting his Proposal, the undersigned agrees to the following:

1. Hold proposal open for acceptance **60 days**.
2. Accept right of Owner to reject any or all proposals, to waive formalities and to accept proposal which Owner considers most advantageous.
3. Enter into and execute the contract, if awarded, for the Base Proposal and accepted Alternate Proposals.
4. Complete work in accordance with the Contract Documents within the stipulated contract time.
5. By signing, the undersigned affirms that, to the best of his knowledge, the Proposals have been arrived at independently and is submitted without collusion with anyone to obtain information or gain any favoritism that would in any way limit competition or give an unfair advantage over respondents in the award of this proposal.

**I. BASE PROPOSAL**

Undersigned agrees to complete the Work for the lump sum amount of:

\_\_\_\_\_ Dollars \$ \_\_\_\_\_  
(Amount written in words governs) (Amount in figures)

**II. ALLOWANCES**

Undersigned certifies that the specified allowances are included in the Base Proposal and agrees that any unexpended balance of allowance sums will revert to Owner in the final settlement of the contract.

**III. UNIT PRICE**

**1: Concrete – (1) Cubic Yard**

ADD \_\_\_\_\_ Dollars \$ \_\_\_\_\_  
(Amount written in words governs) (Amount in figures)

P

***NOTE: THIS DOCUMENT MUST BE SUBMITTED BY 2:00 PM ON FEBRUARY 3, 2022.***

**2: Select Fill – (1) Cubic Yard**

ADD \_\_\_\_\_ Dollars \$ \_\_\_\_\_  
(Amount written in words governs) (Amount in figures)

**3: Duplex Power Outlet – (1) Quad Power Outlet**

ADD \_\_\_\_\_ Dollars \$ \_\_\_\_\_  
(Amount written in words governs) (Amount in figures)

**4: Duplex Data – (1) Duplex Power Outlet**

ADD \_\_\_\_\_ Dollars \$ \_\_\_\_\_  
(Amount written in words governs) (Amount in figures)

**5: Fire Alarm Strobe – (1) Fire Alarm Strobe**

ADD \_\_\_\_\_ Dollars \$ \_\_\_\_\_  
(Amount written in words governs) (Amount in figures)

**6: Occupancy Sensor – (1) Occupancy Sensor**

ADD \_\_\_\_\_ Dollars \$ \_\_\_\_\_  
(Amount written in words governs) (Amount in figures)

**7: 4' Classroom Lights - (1) 4' Classroom Light**

ADD \_\_\_\_\_ Dollars \$ \_\_\_\_\_  
(Amount written in words governs) (Amount in figures)

**8: Access Control Card Reader – (1) Access Control Card Reader**

ADD \_\_\_\_\_ Dollars \$ \_\_\_\_\_  
(Amount written in words governs) (Amount in figures)

**9: 6' Ornamental Fencing – 6' of Ornamental Fencing**

ADD \_\_\_\_\_ Dollars \$ \_\_\_\_\_  
(Amount written in words governs) (Amount in figures)

**IV. CONTRACT TIME**

Undersigned agrees to begin Work on TBD and be Substantially Complete by May 5, 2023.

**V. ADDENDA**

Undersigned acknowledges receipt of Addenda Nos. \_\_\_\_\_  
dated \_\_\_\_\_, 20\_\_.

**NOTE: THIS DOCUMENT MUST BE SUBMITTED BY 2:00 PM ON FEBRUARY 3, 2022.**

**VI. GENERAL CONTRACTOR'S PERSONNEL**

- A. Project Manager: \_\_\_\_\_
- B. Superintendent: \_\_\_\_\_
- C. Assistant  
Superintendent: \_\_\_\_\_
- D. Project Engineer: \_\_\_\_\_
- A. Other: \_\_\_\_\_

**VII. CHANGES IN THE WORK**

Undersigned understands that changes in the work shall be performed in accordance with the Supplementary Conditions.

**VIII. LIQUIDATED DAMAGES**

Undersigned understands that liquidated damages as defined in the Supplementary Conditions will be included in the form of Agreement between Owner and Contractor and that the contractor will be bound thereto.

It is understood that the right is reserved by the Owner to reject any or all proposals, or waive any informalities in the proposal process.

(Seal, if a Corporation)  
State whether Corporation, Partnership or Individual

\_\_\_\_\_  
Authorized Signature

\_\_\_\_\_  
Printed Name

\_\_\_\_\_  
Title

\_\_\_\_\_  
Name of Contracting Firm

\_\_\_\_\_  
Email Address

\_\_\_\_\_  
Address

\_\_\_\_\_  
Telephone

\_\_\_\_\_  
Date

**NOTE: THIS DOCUMENT MUST BE SUBMITTED BY 2:00 PM ON FEBRUARY 3, 2022.**

**DOCUMENT 00 40 10 - ALTERNATE PROPOSAL FORM**

**CLINE ELEMENTARY SCHOOL CAMPUS REPLACEMENT  
FRIENDSWOOD INDEPENDENT SCHOOL DISTRICT**

Submitted by: \_\_\_\_\_

Date: \_\_\_\_\_ Phone No.: \_\_\_\_\_

To: Board of Trustees  
Friendswood ISD  
302 Laurel  
Friendswood, Texas 77546

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1. Hold proposal open for acceptance **60 days**.
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3. Enter into and execute the contract, if awarded, for the Base Proposal and accepted Alternate Proposals.
4. Complete work in accordance with the Contract Documents within the stipulated contract time.
5. By signing, the undersigned affirms that, to the best of his knowledge, the Proposals have been arrived at independently and is submitted without collusion with anyone to obtain information or gain any favoritism that would in any way limit competition or give an unfair advantage over respondents in the award of this proposal.

**I. ALTERNATES**

If the Owner accepts any or all of the Alternates, the undersigned agrees to modify the Base Proposal as stipulated below:

**A. Alternate No. 1 Replace Quartz countertop to plastic laminate:**

DEDUCT \_\_\_\_\_ Dollars \$ \_\_\_\_\_  
(Amount written in words governs) (Amount in figures)

**Alternate No.2 Replace folding doors to fixed frames with a door at collaboration:**

DEDUCT \_\_\_\_\_ Dollars \$ \_\_\_\_\_  
(Amount written in words governs) (Amount in figures)

**Alternate No.3 Replace Terrazzo floor to LVT:**

DEDUCT \_\_\_\_\_ Dollars \$ \_\_\_\_\_  
(Amount written in words governs) (Amount in figures)

**Alternate No.4 Replace polished CMU to standard CMU:**

DEDUCT \_\_\_\_\_ Dollars \$ \_\_\_\_\_  
(Amount written in words governs) (Amount in figures)

**NOTE: THIS DOCUMENT MUST BE SUBMITTED BY 3:00 PM ON FEBRUARY 3, 2022.**



**Alternate No.5 Replace ornamental fencing to chain link fencing:**

DEDUCT \_\_\_\_\_ Dollars \$ \_\_\_\_\_  
(Amount written in words governs) (Amount in figures)

**Alternate No.6 Replace ornamental fencing to Omega Classic fencing:**

DEDUCT \_\_\_\_\_ Dollars \$ \_\_\_\_\_  
(Amount written in words governs) (Amount in figures)

**Alternate No.7 Replace Arriscraft masonry to brick:**

DEDUCT \_\_\_\_\_ Dollars \$ \_\_\_\_\_  
(Amount written in words governs) (Amount in figures)

**Alternate No.8 Reduce parking space concrete thickness 6" to 5":**

DEDUCT \_\_\_\_\_ Dollars \$ \_\_\_\_\_  
(Amount written in words governs) (Amount in figures)

**Alternate No.9 Remove outdoor amphitheater:**

DEDUCT \_\_\_\_\_ Dollars \$ \_\_\_\_\_  
(Amount written in words governs) (Amount in figures)

**Alternate No.10 Reduce building square footage at Gym:**

DEDUCT \_\_\_\_\_ Dollars \$ \_\_\_\_\_  
(Amount written in words governs) (Amount in figures)

**Alternate No.11 Change acoustical deck color from Timberlok to standard color:**

DEDUCT \_\_\_\_\_ Dollars \$ \_\_\_\_\_  
(Amount written in words governs) (Amount in figures)

**Alternate No.12 Remove AV equipment at Learning Commons:**

DEDUCT \_\_\_\_\_ Dollars \$ \_\_\_\_\_  
(Amount written in words governs) (Amount in figures)

**Alternate No.13 Remove Balconies:**

DEDUCT \_\_\_\_\_ Dollars \$ \_\_\_\_\_  
(Amount written in words governs) (Amount in figures)

**Alternate No.14 Remove trellis at Courtyard:**

DEDUCT \_\_\_\_\_ Dollars \$ \_\_\_\_\_  
(Amount written in words governs) (Amount in figures)

**Alternate No.15 Change full height wall tiles to 4'AFF at restrooms:**

DEDUCT \_\_\_\_\_ Dollars \$ \_\_\_\_\_  
(Amount written in words governs) (Amount in figures)

**NOTE: THIS DOCUMENT MUST BE SUBMITTED BY 3:00 PM ON FEBRUARY 3, 2022.**

**Alternate No.16 Add or Deduct for proposed alternate subcontractors:**

DEDUCT \_\_\_\_\_ Dollars \$ \_\_\_\_\_  
(Amount written in words governs) (Amount in figures)

**Alternate No.17 Change per S-500 wide flange alternate schedule.**

DEDUCT \_\_\_\_\_ Dollars \$ \_\_\_\_\_  
(Amount written in words governs) (Amount in figures)

**Alternate No.18 Change Direct Digital Controls to Unify Energy Solutions:**

DEDUCT \_\_\_\_\_ Dollars \$ \_\_\_\_\_  
(Amount written in words governs) (Amount in figures)

It is understood that the right is reserved by the Owner to reject any or all proposals, or waive any informalities in the proposal process.

\_\_\_\_\_  
Authorized Signature

\_\_\_\_\_  
Printed Name

\_\_\_\_\_  
Title

(Seal, if a Corporation) State whether Corporation,  
Partnership or Individual)

\_\_\_\_\_  
Name of Contracting Firm

\_\_\_\_\_  
Email Address

\_\_\_\_\_  
Address

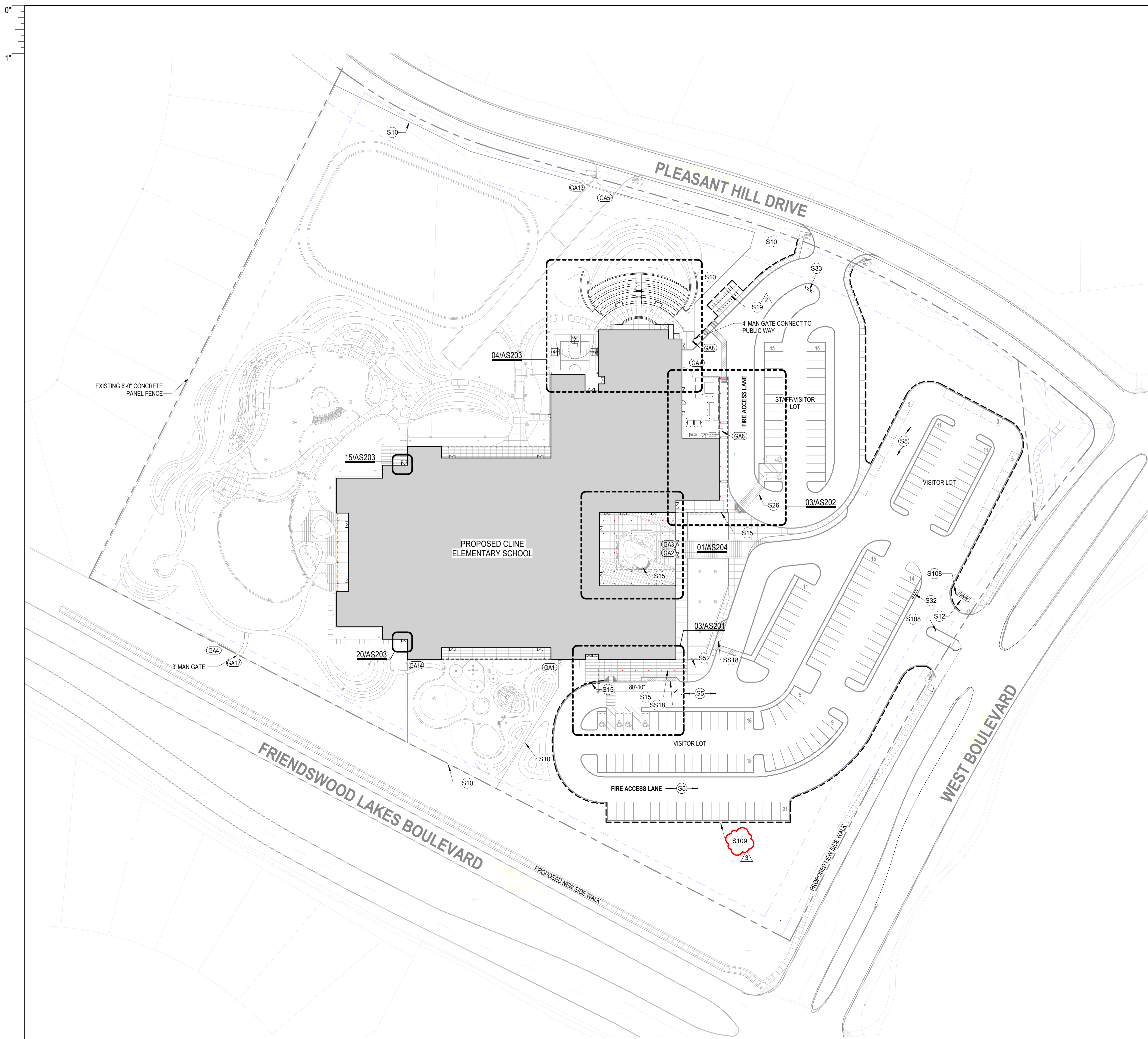
\_\_\_\_\_  
Telephone

\_\_\_\_\_  
Date

**END OF DOCUMENT 00 40 00**

**NOTE: THIS DOCUMENT MUST BE SUBMITTED BY 3:00 PM ON FEBRUARY 3, 2022.**





KEYNOTE LEGEND	
NUMBER	DESCRIPTION
S5	CONCRETE DRIVE, RE: CIVIL
S10	6'-0" ORNAMENTAL FENCE
S12	MONUMENT SIGN W/ DIGITAL MARQUEE
S15	ALUMINUM COVER ABOVE
S19	20 BIKE RACKS (2 BICYCLE STORAGE PER EACH RACK UNIT) RE: SPECS
S26	PAINTED STRIPE, 4' WIDE TYP
S32	TRAFFIC SIGN, SIGN A RE: 05/AS302
S33	TRAFFIC SIGN, SIGN B RE: 05/AS302
S52	30'-0" TALL FLAGPOLE
S106	AUTOMATED OR IDENT. PICK-UP SYSTEM, VERIFY EXACT LOCATION WITH ARCHITECT
S109	DASHED LINE INDICATES WAX LEAF LIGUSTRUM ALONG WITH PARKING PERIMETER, REFER TO LANDSCAPE
SS18	RAISING RAMP LANDING ZONE, ACCESS AISLE

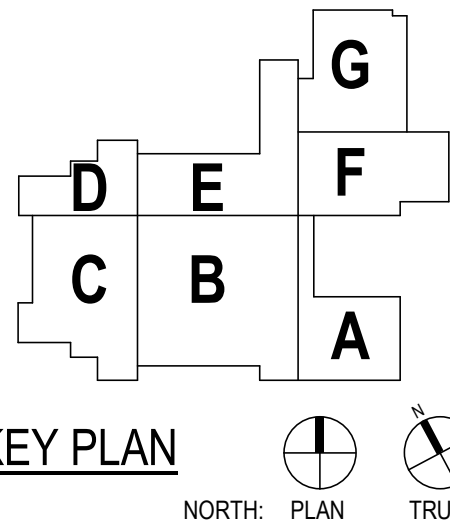
## GENERAL ARCH SITE PLAN NOTES

1. REFER TO CIVIL DOCUMENTS
2. COORD. ALL SPOT ELEVATIONS AND DIMENSIONS WITH CIVIL, LANDSCAPE, AND/OR STRUCTURAL DOCUMENTS
3. PROVIDE AND INSTALL POSITIVE DRAINAGE AWAY FROM ALL BUILDINGS OF 1" MINIMUM, 2" MAXIMUM AT ALL EXTERIOR PAVED PEDESTRIAN AREAS, INCLUDING BUT NOT LIMITED TO, SIDEWALKS, PATIOS, STAIRS, PAVING, U.N.O.
4. PROVIDE AND INSTALL POSITIVE DRAINAGE AWAY FROM ALL BUILDINGS OF 5% FOR A HORIZ. DISTANCE OF 10 FEET AT ALL EXTERIOR NON-PAVED AREAS U.N.O
5. PROVIDE AND INSTALL DOCUMENTS FOR CONCRETE SIDEWALK EXPANSION JOINTS AND CONCRETE SIDEWALK CONTROL JOINTS
6. VERIFY AND CONFIRM ALL JOINT LAYOUTS AT ALL CONCRETE SIDEWALKS WITH ARCH. PRIOR TO POURING OF CONCRETE
7. PROVIDE AND INSTALL CONCRETE SIDEWALK EXPANSION JOINTS AT AREAS NOT SPECIFICALLY INDICATED AT 50 FEET ON-CENTER MAX. U.N.O
8. PROVIDE AND INSTALL CONCRETE SIDEWALK CONTROL JOINTS AT AREAS NOT SPECIFICALLY INDICATED AT DISTANCES EQUIVALENT TO SIDEWALK WIDTH, BUT NOT TO EXCEED 10 FEET ON-CENTER MAX.
9. VERIFY ALL SITE SIGNAGE LOCATIONS WITH ARCH. PRIOR TO INSTALLATION OF SITE SIGNAGE

TOTAL NUMBER OF PARKING SPACES

178 TOTAL  
6 ADA STALLS PROVIDED

GATE SCHEDULE						
MARK	DOOR PANEL			H.W.	REMARKS	
	SIZE W x H		DOOR ELEVATION			
	W	H				
GA1	6'-0"	6'-0"	01/AS301	J704	PANIC HARDWARE	
GA2	6'-0"	6'-0"	01/AS301	J704	PANIC HARDWARE	
GA3	6'-0"	6'-0"	01/AS301	J704	PANIC HARDWARE	
GA4	25'-0"	6'-0"	12/AS302	J001	KNOX BOX W/ PAD LOCK	
GA5	25'-0"	6'-0"	12/AS302	J001	KNOX BOX W/ PAD LOCK	
GA6	4'-0"	6'-0"	18/AS301 SIM	J705	PANIC HARDWARE	
GA7	20'-0"	8'-0"	18/AS301	J001	KNOX BOX W/ PAD LOCK	
GA8	4'-0"	6'-0"	02/AS301	J705	PANIC HARDWARE	
GA12	3'-0"	6'-0"	02/AS301	J705	PANIC HARDWARE	
GA13	3'-0"	6'-0"	02/AS301	J705	PANIC HARDWARE	
GA14	3'-0"	6'-0"	02/AS301	J704	PANIC HARDWARE	

[illegible]

ISSUE FOR CSP

# ARCHITECTURAL SITE PLAN

# AS101



<b>05</b>	<b>ROOF PLAN</b> 1" = 20'-0"
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MODIFIED BITUMEN FINISH  
PLY (RE: SPECS)

MODIFIED BITUMEN BASE  
PLY (RE: SPECS)

MECHANICALLY ATTACHED  
BASE SHEET (RE: SPECS)

2" MIN LIGHT WEIGHT INSULATING  
CONCRETE AND 8" EPS BOARD  
MIN. (RE: SPECS)

LIGHT WEIGHT CONCRETE 1/4"  
SLURRY (RE: SPECS)

TEMPORARY ROOF (RE: SPECS)

EPIC DECK (RE: STRUCTURAL)

Diagram illustrating the cross-section of a roof assembly, showing the following components from top to bottom:

- PRE-FINISHED ARCHITECTURAL METAL ROOFING PANEL (RE. SPECS)
- SLIP SHEET (AS REQUIRED BY METAL PANEL MANUFACTURER)
- FULLY ADHERED WATERPROOF MEMBRANE (RE. SPECS)
- 1/2" RECOVERY BOARD (RE. SPECS)
- 6" POLYISO INSULATION DIVIDED IN THREE LAYERS (RE. SPECS)
- METAL DECK (RE. STRUCTURAL)



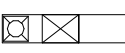





























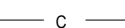







**C**

- ① ROOF ACCESS LADDER - RE: 9/A-323
- ② ROOF HATCH - RE: 8/A-323 (RE: SPECS)
- ③ ALUMINUM CANOPY FLASHING - RE: 18/A-322 OR 19/A-322 (RE: SPECS)
- ④ PENETRATIONS AT MECHANICAL SCREEN - RE: 10/A-323 (RE: SPECS)  
CLEARANCE BETWEEN ROOF SURFACE AND BOTTOM OF MECHANICAL  
SCREEN TO MEET MANUFACTURER'S REQUIRED FLASHING HEIGHTS.

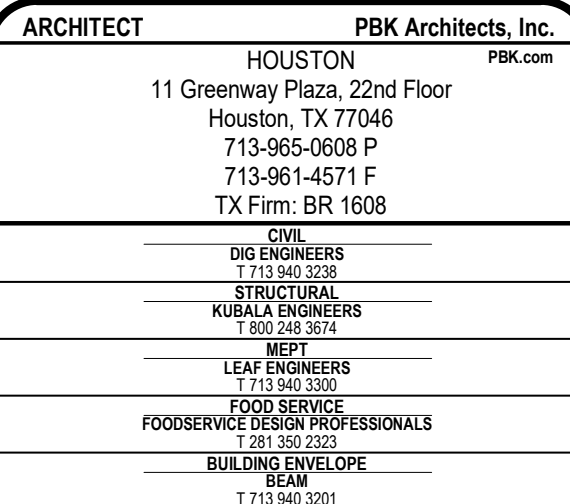
16	ROOFING - KEYNOTES 1 1/2" = 1'-0"
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1. CONTRACTOR SHALL REVIEW AND COORDINATE WITH ARCHITECTURAL, MECHANICAL AND STRUCTURAL SUBCONTRACTORS TO ASCERTAIN EXACT CONDITIONS AND COMPONENTS RELATED TO THE WORK DESCRIBED BY THESE DOCUMENTS. ALL WORK SHALL BE IN ACCORDANCE WITH ACCEPTED MANUFACTURERS PRINTED INSTRUCTIONS AND NRCA STANDARDS.
2. DIMENSIONS DETAIL AND EQUIPMENT SIZE AND LOCATION SHOWN IN THESE CONSTRUCTION DOCUMENTS ARE FOR CONVEYANCE OF DESIGN INTENT ONLY. EXACT SIZE, LOCATION, TYPE OF MATERIAL AND TYPE OF CONSTRUCTION OF EXISTING CONDITIONS ARE THE RESPONSIBILITY OF THE CONTRACTOR TO ASCERTAIN AND CONFIRM.
3. INDICATED ROOF HEIGHTS ARE GENERAL IN NATURE. RE: STRUCTURAL FOR FRAMING HEIGHTS.
4. REFER TO NOMENCLATURE FOR TYPE OF ROOF SYSTEM. AREAS ARE MARKED WITH DESIGNATED LETTER ON ROOF PLAN.
5. NOTE THAT THE DETAILS DRAWN ARE GENERIC IN NATURE AND ARE NOT NECESSARILY LOCATED AND KEPT TO THE ROOF PLANS.
6. ALL NEW CRICKETS AND TAPERED INSULATION SHALL BE INSTALLED WITH A FINISHED 1/4" PER FOOT SLOPE. CRICKET THE UP SLOPE SIDE OF ALL SQUARE CURBS AND PROJECTIONS OVER 20" IN WIDTH.
7. ALL CURB MOUNTED HVAC UNITS, EQUIPMENT, ETC. SHALL HAVE A MINIMUM 10" CURB HEIGHT. WORK TO ANY UTILITY CONDUIT OR PIPE SHALL BE PERFORMED BY SPECIFIC LICENSED SUBCONTRACTORS SPECIALIZING IN HVAC, PLUMBING AND ELECTRICAL WORK. PERMITS AND INSURANCES ARE REQUIRED.
8. UNLESS INDICATED OTHERWISE ON THE CONSTRUCTION DOCUMENTS, ALL EXISTING JOINTS / AREA DIVIDERS / CURB MOUNTED EQUIPMENT / SKYLIGHTS SHALL BE MIN. 10" ABOVE ROOF DECK.
9. ALL SOIL STACK FLASHING SHALL BE A MIN. 10" ABOVE FINISHED ROOF SURFACE. COUPLE PVC PIPE ABOVE DECK AND COUPLE CAST IRON PIPE BELOW DECK. PROPERLY SUPPORT PIPE BELOW ROOF DECK FROM LATERAL MOVEMENT.
10. ALL AIR HANDLING UNITS SHALL BE A MIN. 10" ABOVE ROOF SURFACE. PROVIDE PORTABLE PIPE HANGERS WITH PROTECTION PADS AS SPECIFIED. MEP CONTRACTORS SHALL PROVIDE SUPPORTS FOR UTILITY LINES.
11. PROVIDE "MERCURY" GAS LINE TEST (COORDINATE WITH OWNER AND ARCHITECT FOR WITNESS OF THE TEST). REPAIR ANY FOUND LEAKS AND RETEST AS REQUIRED.
12. PROVIDE SHEET METAL FLASHING (WITH METAL FACE CLOSURE) CAPS, WOOD CURB, BOX COVER AT ALL GAS AND WATER PIPE ROOF PENETRATIONS AS DETAILED AND SPECIFIED. PROVIDE POSITIVE SLOPE AWAY FROM FACE COVER.
13. PROVIDE WALKWAY PROTECTION PADS AS SPECIFIED AROUND ALL ROOF HATCHES, HVAC ROOF TOP UNITS. DOORS THAT OPEN INTO ROOF AT TOP AND BOTTOM OF ALL OUTRIG ROOF TOP ACCESS LOCATIONS.
14. ISOLATE HEAT PIPES / FLUES AS DETAILED AND RECOMMENDED AND OUTLINED IN THE NRCA MANUAL FOR HOT STACK FLASHING AND AS DETAILED.
15. ALL OUTSIDE AIR INTAKES SHALL BE COVERED TO ELIMINATE ODORS AND FUMES FROM ENTERING INTO THE BUILDING DURING CONSTRUCTION WORK.
16. AFTER SUBSTANTIAL COMPLETION, THE GENERAL CONTRACTOR SHALL EXAMINE AND CLEAN NEW EXISTING AND NEW EXISTING (AS NOTED) GUTTERS OF DEBRIS AND BLOCKAGE, FLUSH WITH WATER TO ENSURE THAT DRAINS AND GUTTERS FLOW FREELY.
17. PRIOR TO COMMENCEMENT OF WORK, COORDINATE WALK OF ENTIRE ROOF WITH ROOFING MANUFACTURERS TECHNICAL REPRESENTATIVE TO IDENTIFY AND LOCATE ALL AREAS OF HIGH SLOPE OR OTHER CONDITIONS WHICH MIGHT REQUIRE SPECIAL PROCEDURES FOR SYSTEM ATTACHMENT.
18. PROVIDE DRAWINGS FOR SIZE AND LOCATION OF NEW ROOF DECK PENETRATIONS AND ROOF TOP EQUIPMENT.
19. INSTALL NEW SPLASH PAN AT ALL LOCATIONS WHERE ROOF DRAINAGE DISCHARGES ONTO ROOF AREA. INSTALL NEW SPLASH BLOCKS WHERE ROOF DRAINAGE DISCHARGES ON GROUND.
20. REFER TO GENERAL DETAILS FOR TYPICAL SPLASH PAN, ROOF DRAIN AND OVERFLOW DRAIN DETAILS.
21. GENERAL CONTRACTOR TO ENSURE ALL ROOF TOP PENETRATIONS (SOIL STACKS, VENTS, ETC.) ARE AT LEAST 4" FROM OTHER DRAIN PENETRATIONS, RISE WALLS, AND ROOF EDGE. MECHANICAL EQUIPMENT TO BE LOCATED MIN. 10'-0" FROM PERIMETER EDGE AND NO CLOSER THAN 4'-0" FROM RISER WALLS, OR ANY OTHER ROOF PENETRATION.
22. LOCATE PERIMETER DRAINS MAX. 6'-0" FROM EDGE TYPICAL UNLESS SHOWN OTHERWISE. (GENERAL CONTRACTOR TO COORDINATE WITH ROOFING AND PLUMBING CONTRACTOR).
23. PROVIDE 1/2" MIN. THICKNESS HARDENED CONCRETE OR 10" MIN. MORTAR FROM FINISH DECK. DO NOT STEP THROUGH WALK FLASHING CLOSER THAN 5'-0" FROM CORNERS.
24. GENERAL CONTRACTOR SHALL COORDINATE LOCATION AND ORIENTATION OF ROOF HATCH AND ACCESS LADDER.
25. GENERAL CONTRACTOR SHALL COORDINATE ALL TOP OF STEEL TO TOP OF BLOCKING AND SUBSTITUTION BOARD DIMENSIONS IN FIELD PRIOR TO ORDERING MATERIALS. NO ADDITIONAL COMPENSATION WILL BE GRANTED FOR FAILURE TO COORDINATE THESE DIMENSIONS.
26. GENERAL CONTRACTOR SHALL VERIFY ROOF SLOPES WILL PROPERLY DRAIN AS SHOWN. TAPERED INSULATION HATCHING SHOWN IS NOT INTENDED TO ILLUSTRATE THE ENTIRE LIMITS OF TAPERED INSULATION. ROOF AREAS NOT SLOPED BY STRUCTURE SHALL BE SLOPED WITH TAPERED INSULATION TO ACHIEVE PROPER DRAINAGE.
27. PROVIDE 10' WIDE MORTAR BEDS AT ALL LIGHTWEIGHT CONCRETE OR GYPSUM OVER POUR AREAS AS RECOMMENDED BY THE ROOFING SYSTEM MANUFACTURER.
28. PAINT ALL EXPOSED GAS PIPE.

07	GENERAL NOTES (NEW) 1 1/2" = 1'-0"
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	PLUMBING VENT		GOOSE NECK VENT		EXHAUST AND SUPPLY FAN ON SINGLE CURB
	FLANGE VENT		CURB MOUNTED AC		RIDGE LINE
	PITCH PAN		SPLASH BLOCK		TAPERED INSULATION/CRICKET
	ROOF DRAIN		SPLASH PAN		LT. WT. CONCRETE INSULATION/CRICKET
	OVERFLOW DRAINS		AC ON SUPPORT CURBS		ROOF AREA DESIGNATION
	WALL DRAIN		ROOF HATCH		TAPERED LIGHT WEIGHT CONCRETE
	CURB MOUNTED VENT		SKYLIGHTS		AREA DIVIDER
	CURB MOUNTED INTAKE		ANTENNA		SATELLITE DISH
	GUY WIRE		SCUPPER		EXPANSION JOINT
	POWER VENT		GUTTER		CONDENSATE LINE
	HEATER VENT		DOWNSPOUT		WATER LINE
	BOILER VENT		WALL LADDER		ELEC. LINE
	TURBINE VENT		SWING LADDER		GAS LINE
	PIPE BOX				

01	ROOFING - LEGEND (NEW) 1 1/2" = 1'-0"
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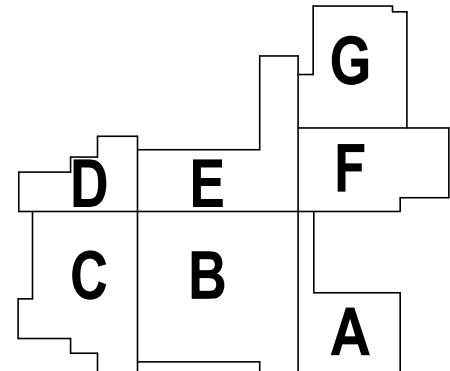


# CLINE ELEMENTARY SCHOOL CAMPUS REPLACEMENT



1550 WEST BOULEVARD, FRIENDSWOOD, TX 77546

### ISSUE FOR CSP



## KEY PLAN

NORTH: PLAN TRU



*Melissa Turubough*  
DEC. 17. 2021

CLIENT  
FRIENDSWOOD ISD

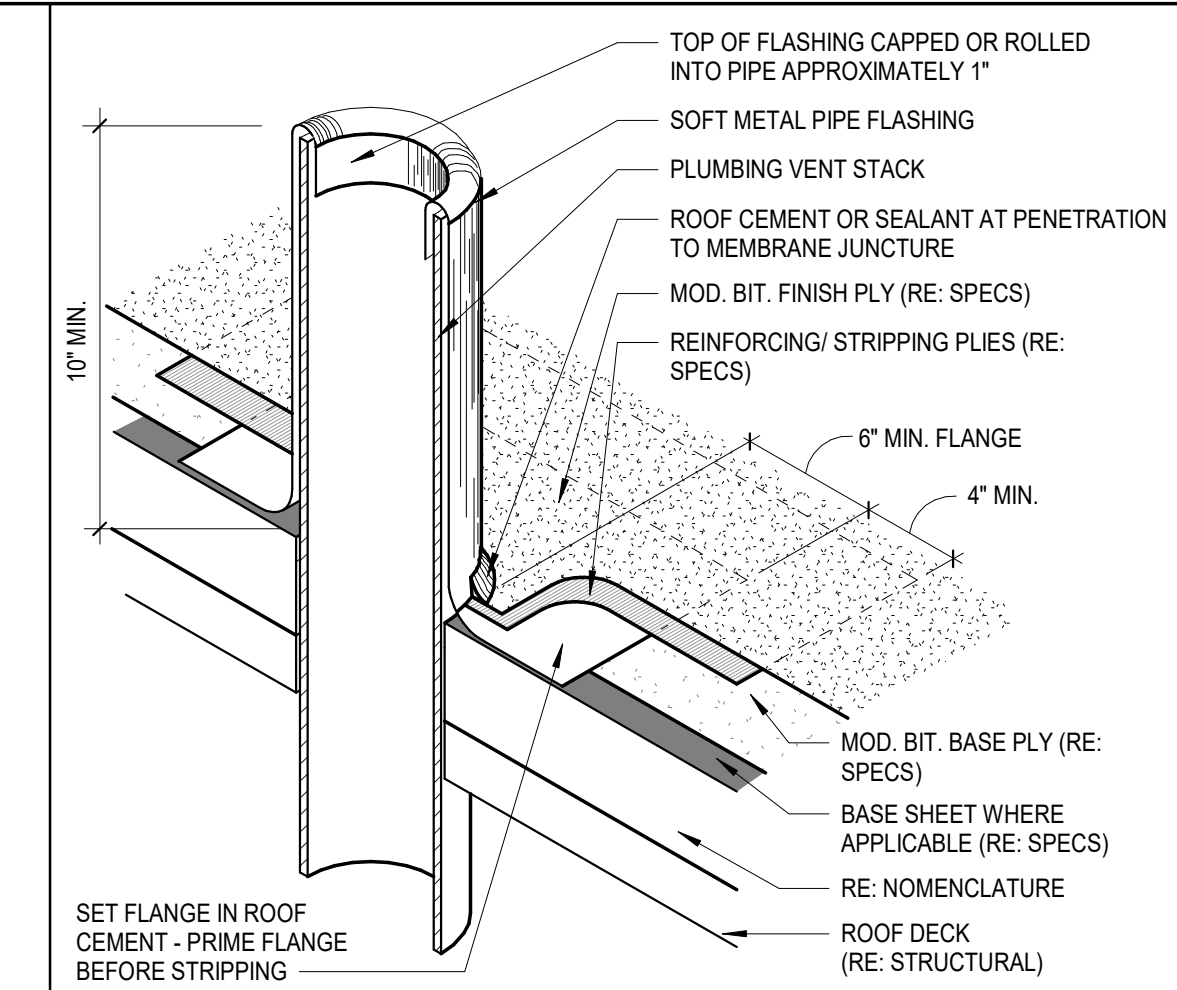
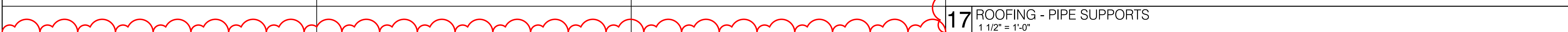
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ISSUE FOR CSP

## ROOF PLAN

# A-301





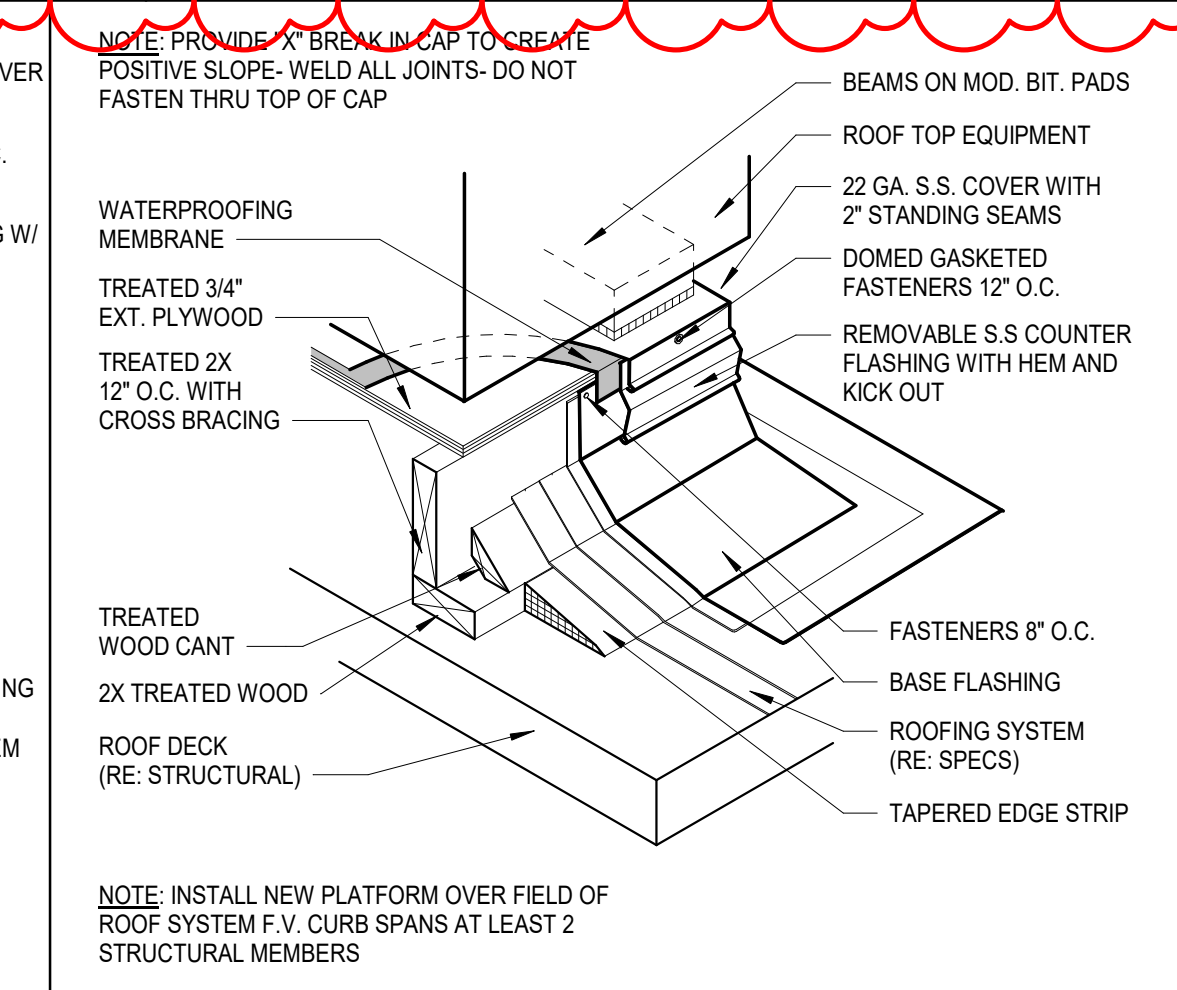
13	$1\frac{1}{2}'' = 1'-0''$
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14	$1\frac{1}{2}'' = 1'-0''$
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13	$1\frac{1}{2}'' = 1'-0''$
----	---------------------------

12	$1\frac{1}{2}'' = 1'$
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1	1/2"	= 1
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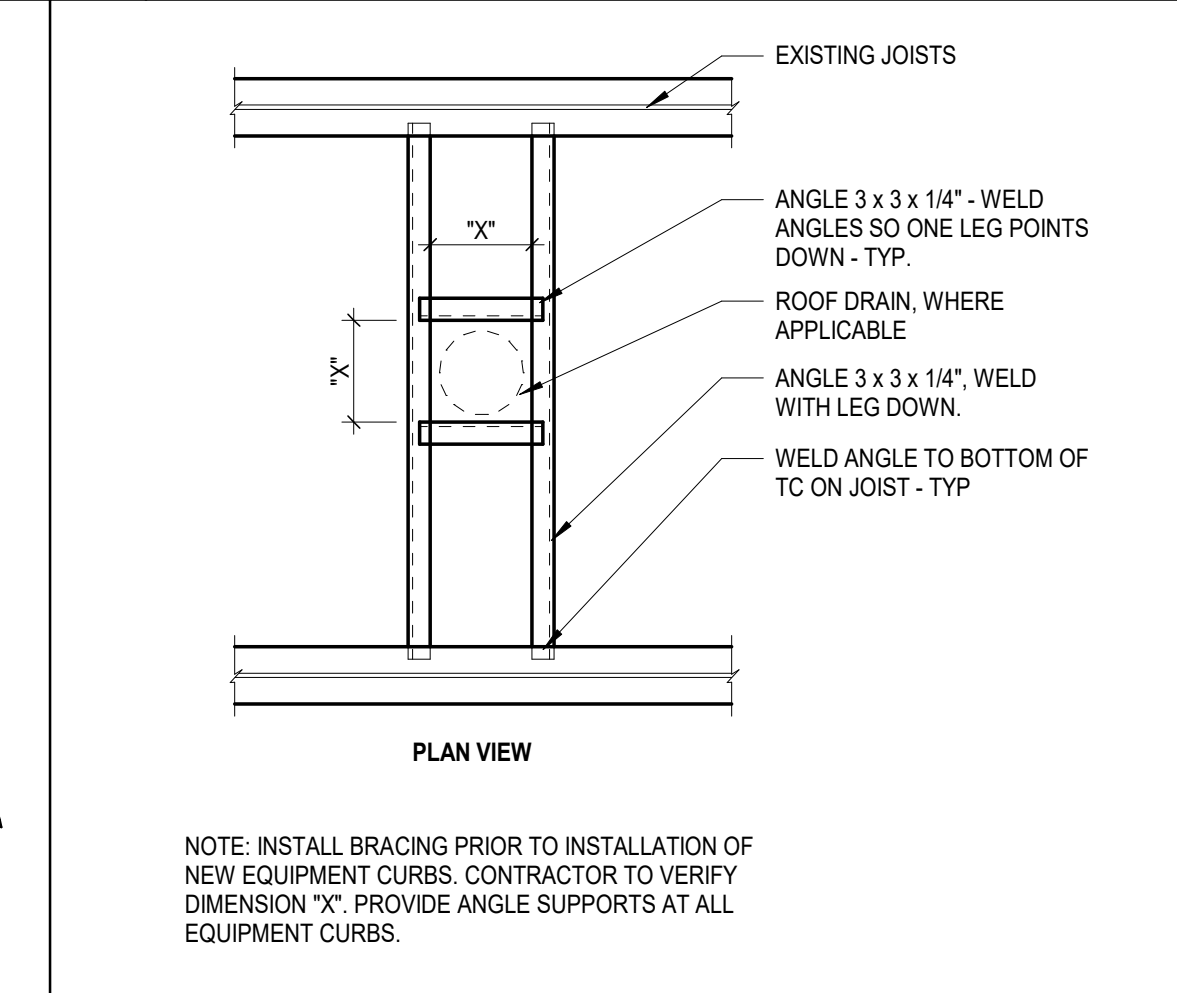
10	1 1/2" = 1'-0"
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1 1/2" = 1'-0"

1 1/2" = 1'-0"
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1	1 1/2" = 1'
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0	1 1/2" = 1
---	------------



1 1/2"	= 1'-0'
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4	1 1/2" = 1'-0"
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1 1/2" = 1'-0"
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	1 1/2" = 1'
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	1	$1\frac{1}{2}'' = 1$
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